

**RICHMOND TOWNSHIP
RESIDENTIAL SITE/PLOT PLAN
REQUIREMENTS CHECKLIST**

ADDRESS: _____ **TCEC REVIEWER:** _____

DEVELOPMENT: _____ **LOT/UNIT/BLDG. NO.:** _____

ENGINEER/SURVEYOR: _____ **DATE:** _____

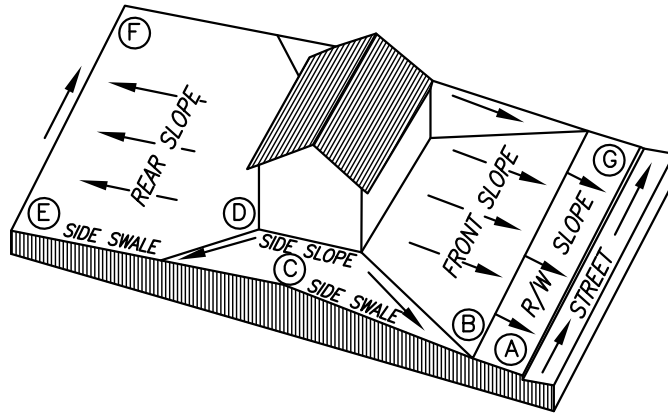
| General | | Yes | No |
|----------------|--|---|---|
| 1 | Plans signed & sealed by registered Michigan Land Surveyor/Engineer (Original) | | |
| 2 | North Arrow | | |
| 3 | Scale (1" – 10' to 1" – 40') | | |
| 4 | Legal description & parcel ID shown | | |
| 5 | Site benchmark provided (Indicate datum) | | |
| 6 | Topographic survey information shown (existing elevations around the lot perimeter, adjacent top of curb and brick ledge/finish grade elevations, catch basin, valve well and manhole rim elevations and on site easements dimensions and locations) | | |
| 7 | Road name and width of existing & proposed Right-of-Way | | |
| 8 | Arrows indicating drainage pattern (all runoff contained onsite) | | |
| 9 | Provide & label drainage swales min along the side property lines | | |
| 10 | Lot boundary dimensions shown | | |
| 11 | Township standard notes shown | | |
| 12 | All existing and proposed utilities (includes water service, sanitary and sump lead) | | |
| 13 | Location and elevation of 100-year Floodplain boundaries (existing or proposed) | | |
| 14 | Building setbacks from all property lines according to the Township Ordinance | | |
| 15 | First floor elevation 5 FT max above lowest adjacent centerline of road | | |
| 16 | First floor elevation 6 IN max above approved finished grade of septic field * | | |
| 17 | Provide building outline or building envelop finished grades on all future site plans and preliminary grade certificates * | | |
| 18 | Provide 0.5 FT drop between corner lot grade and top of curb grade * | | |
| 19 | Provide top of curb grades opposite each front lot corner * | | |
| 20 | Brick ledge elevations and lot grades match approved master grade plan * | | |
| 21 | Show handi-cap ramps on sidewalks * | | |
| 22 | All proposed grading shall meet the following: a. Brick ledge elevation with 0.5 FT of all adjacent brick ledge elevations * b. Fall from brick ledge to side yard swale high point 0.5 FT min and 1 FT max * c. Fall from brick ledge 2% (0.5 FT) min in the first 25 FT and 1% thereafter d. Rear and side yard swale slopes shall be 0.5% min and 5% max e. Driveway slope shall not exceed maximum 7% f. Match existing grades at all property lines | _____ _____ _____ _____ _____ | _____ _____ _____ _____ _____ |
| 23 | Cross section details of all proposed pavements (driveway, sidewalk...etc) | | |
| 24 | Show existing wetlands onsite (provide a statement if none) | | |
| 25 | Provide hard copies and digital files of the plans (PDF format) | | |

* Required for subdivision lots only or if applicable

RICHMOND TOWNSHIP STANDARD NOTES

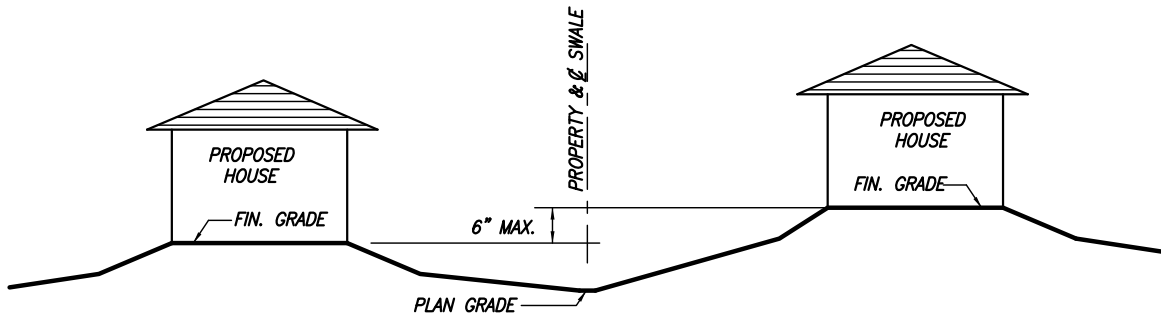
1. All construction must conform to the current standards and specifications adopted by the Township.
2. Call MISS DIG (1-800-482-7171) a minimum of 72-hours prior to the start of construction.
3. All soil erosion and silt must be controlled and contained onsite.
4. All excavation under or within 3-feet of public pavement, existing or proposed, shall be backfilled and compacted with sand (Class II MDOT – minimum).
5. The Contractor is responsible for all damage to existing utilities.
6. The Contractor is responsible for securing permits from all jurisdictional agencies.
7. Approval by Macomb County Department of Roads is required for the proposed work within the ROW (including driveways).
8. Approval by Macomb County Soil Erosion Office is required for the proposed activities.
9. Approval by Macomb County Drain Office is required for any runoff discharge to a water course.
10. Approvals by Macomb County Health Department is required for all proposed well and septic systems.
11. The Township shall be held harmless for liabilities or damages of any storm, drainage, and flooding issues as a result of the proposed activities.
12. The Township shall be contacted regarding all proposed public watermain and sanitary sewer connections and related fees.
13. Energy dissipaters (such as Riprap) recommended for all storm outlets (including sump leads) to minimize any point discharges and future erosion issues.
14. The Contractor is responsible for providing positive drainage to storm water outlets onsite to eliminate standing water in vacant areas during construction.

RICHMOND TOWNSHIP GRADE STANDARDS

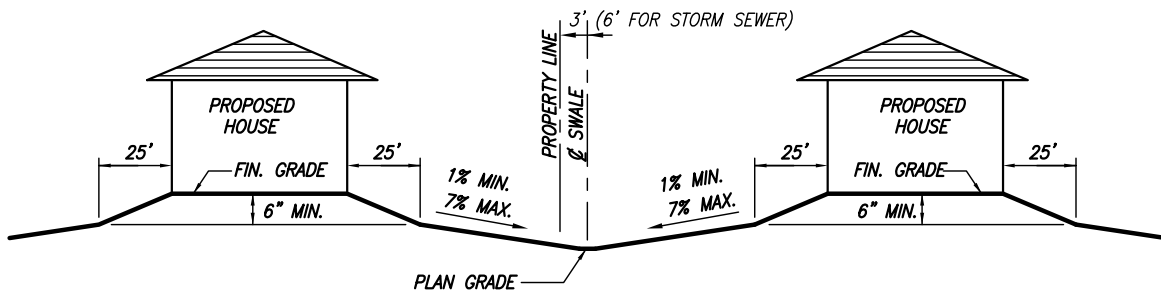


- A-B** R/W SLOPE 0.03' / FT SLOPE MIN.
- E-C-B** SIDE SWALE 1% SLOPE MIN.
- C-D** SIDE SLOPE 0.5' RISE TO H.G. MIN. - 1' RISE TO H.G. MAX.
- E-D-B** REAR/FRONT SLOPE 1% SLOPE MIN. - 7% SLOPE MAX
- E-F** REAR SWALE 0.5% SLOPE MIN.
- A-G** ROAD SLOPE 0.5% SLOPE MIN.

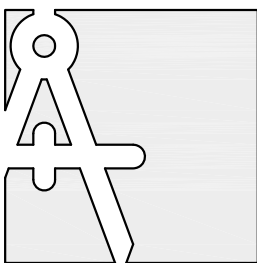
TYPICAL GRADING TEMPLATE (NOT TO SCALE)



ADJACENT YARD GRADING TEMPLATE (NOT TO SCALE)



TYPICAL YARD GRADING TEMPLATE (NOT TO SCALE)



TRI-COUNTY
Engineering Consultants

48701 Hayes Road
Shelby Twp, MI 48315
TEL: (810) 394-7887
Info@Tri-CountyEng.com
www.Tri-CountyEng.com

Drawn By: SS

Checked By: SS

Approved By: SS

Job No: RD20000

Job Name: Grade Standards

Job Location: Richmond Township, Michigan

Scale: None

Rev 1: 07-15-2021

Rev 2:

Rev 3:

PRELIMINARY CERTIFICATE OF GRADE & LOCATION OF HOUSE

(Required for subdivision lots and parcels 1 Acre or smaller)

After the Township Building Department had given approval of the basement walls to be backfilled, and before the rough carpentry begins, the Applicant shall submit as-built drawings with the following certification shown:

I CERTIFY THAT WE FIELD CHECKED THE SUBJECT SITE AND FIND THAT THE MINIMUM DISTANCE FROM LOT LINES AND FINISHED GRADES OF BUILDING AND LOT ARE AS SHOWN TRUE AND IN ACCORDANCE WITH THE APPROVED SITE / PLOT PLAN / MASTER GRADING PLANS, AND SPECIFICATIONS AS APPLICABLE.

BY: _____
PROFESSIONAL SURVEYOR / PROFESSIONAL ENGINEER

REGISTRATION NO.: _____

FINAL CERTIFICATE OF GRADE & LOCATION OF HOUSE

(Required for all lots and parcels)

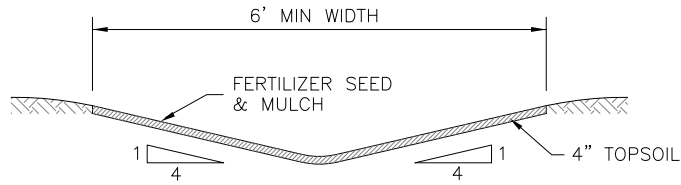
Prior to Final Occupancy, the Applicant shall submit as-built drawings with the following certification shown:

I CERTIFY THAT WE FIELD CHECKED THE SUBJECT SITE AND FIND THAT THE MINIMUM DISTANCE FROM LOT LINES AND FINISHED GRADES OF BUILDING AND LOT ARE AS SHOWN TRUE AND IN ACCORDANCE WITH THE APPROVED SITE / PLOT PLAN / MASTER GRADING PLANS, AND SPECIFICATIONS AS APPLICABLE.

BY: _____
PROFESSIONAL SURVEYOR / PROFESSIONAL ENGINEER

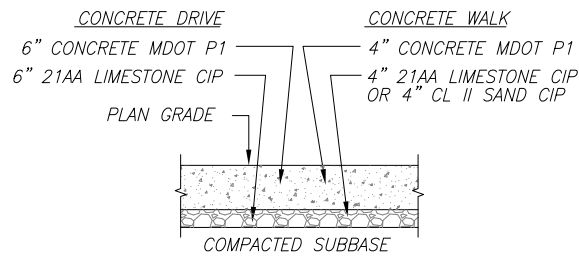
REGISTRATION NO.: _____

SAMPLE DETAILS



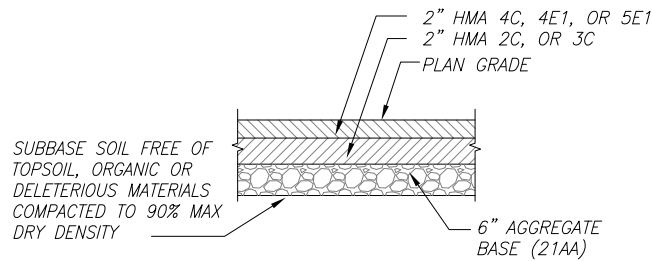
SWALE DETAIL

NOT TO SCALE



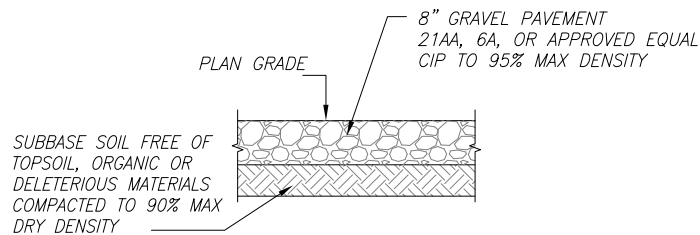
CONCRETE PAVEMENT DETAIL

NOT TO SCALE



BITUMINOUS PAVEMENT DETAIL

NOT TO SCALE



GRAVEL PAVEMENT DETAIL

NOT TO SCALE

**RICHMOND TOWNSHIP
34900 SCHOOL SECTION
RICHMOND, MI 48062
(586) 727-8998 FAX (586) 727-8997
www.richmondtp.org**

**RESIDENTIAL
PLAN REVIEW REQUIREMENTS AND CHECKLIST**

Under Section R105.3 of the Michigan 2015 Building Code, to obtain a *permit*, the applicant shall first file an application therefor in writing on a form furnished by the department of building safety for that purpose. Such application shall:

1. Identify and describe the work to be covered by the *permit* for which application is made.
2. Describe the land on which the proposed work is to be done by legal description, street address or similar description that will readily identify and definitely locate the proposed building or work. (If a street address has not been issued, you need to apply for one at township office which is \$10.00).
3. Indicate the use and occupancy for which the proposed work is intended.
4. (2) sets of *construction documents*, with the following information as described in Sec. R106.1 of the Michigan 2015 Building Code: *Construction documents* shall be drawn upon suitable material. Electronic media documents are permitted to be submitted when *approved* by the *building official*. *Construction documents* shall be of sufficient clarity to indicate the location, nature and extent of the work proposed and show in detail that it will conform to the provisions of this code and relevant laws, ordinances, rules and regulations, as determined by the *building official*. Where required by the *building official*, all braced wall lines, shall be identified on the *construction documents* and all pertinent information including, but not limited to, bracing methods, location and length of braced wall panels, foundation requirements of braced wall panels at top and bottom shall be provided. Construction must also include:
 - a. Scale ¼"=1'0"
 - b. Foundation plan
 - c. Floor plans shall be proper scale and clearly show room sizes.
 - d. Section cut through fireplace to show construction.
 - e. Indicate floor and roof framing size and spacing.
 - f. Show building elevations of all sides and dimensions.
 - g. Indicate correct window size and type and must meet relevant codes: R310.1, R310.1.2, R310.1.3.
 - h. Cross section of house showing R factors of insulation and general construction.
 - i. **All prints** must include a permanent way of egress other than through a garage. It must be at least 3'x3' (deck or porch).
5. State the valuation of the proposed work.
6. The permit must be signed by the applicant or the applicant's authorized agent who is applying.
7. Give such other data and information as required by the *building official*.
8. Deed-proof of ownership.
9. Site plan showing: new construction, existing buildings with dimensions of location of buildings, ponds, well, septic, etc. with side and rear setback requirements.

10. Culvert permit to be obtained from the Macomb County Road Commission, 117 S. Groesbeck, Mt. Clemens, MI 48043, (586) 463-8671, www.macombcountymi.gov/roads
11. Soil Erosion permit to be obtained from the Macomb County Public Works, 21777 Dunham Road, Clinton Township, MI 48036, (586) 469-5325, www.macombcountymi.gov/publicworks
12. Well & Septic permits to be obtained from the Macomb County Health Department, 43525 Elizabeth Road, Mt. Clemens, MI 48043, www.macombcountymi.gov/publichealth
13. Home Energy Analysis
14. Copy of contractor's builders license and certificate of insurance for General Liability and Workmens' Comp.
15. **DETROIT EDISON:** Effective March 1, 2016, all new, relocated or upgraded residential service connections will be installed as underground residential service laterals **at the customers expense**. Click on <S:\DTEEnergyLetter.pdf> for more information.

GENERAL BUILDING INFORMATION

1. Structure minimum setback requirement of 90/100 feet from the center of the road.
2. Structure minimum rear lot line setback requirement of 40 feet from property line.
3. Structure minimum side lot line setback requirement of 20 feet from property line.
4. All structures must be 10 feet from any existing building.
5. All out buildings must be even with or behind home. **NO OUTBUILDING CAN BE CONSTRUCTED IN FRONT OF HOME OR IN FRONT YARD.**
6. Ponds must be 50 feet from any property line, building, well or septic field. Private ponds for other than required storm water retention or detention purposes shall be located on a parcel having a minimum land area of at **least three acres (130,680 sq. ft.)**.
7. Barns for animals must be at least 50 ft. from house.
8. No accessory building shall be constructed prior to the granting of a *building permit* for the principal residential structure. (See Zoning Ordinance Article 7 Section 7.00).
9. Permits for electrical, plumbing, heating and fireplace are **not included** in the *building permit* application.
10. Street address must be posted in accordance with the Richmond Township Street Number Ordinance.
11. If building in a platted subdivision or condominium, a letter of approval from the association **must be** included with the *building permit*.

BUILDING INSPECTION REQUIREMENTS

Building inspections are made by **appointment only**. Call the Building Department at (586) 727-8998 Monday, Tuesday or Thursday from 9:00 a.m. - 5:00 p.m. **No inspections can be made by fax machine or voice mail request. We require a 24-48 hour notice.**

1. Before a rough building inspection can be scheduled, plumbing, electrical and mechanical rough inspections must be completed.
2. Before a final building inspection can be scheduled, plumbing, electrical, mechanical and any other required finalized inspections must be completed.
3. No final and no certificate of occupancy permit will be issued without all of the above approvals and all approvals from the county offices.
4. As-built if required by the building official for the septic field.
5. Address on property is in conformance with the Richmond Township Street Number Ordinance.

6. A way of egress other than through garage, at least 3'x3', with stairs that meet code.
7. A mailbox erected and must meet requirements with the Macomb County Road Commission.

RE-INSPECTIONS

A re-inspection fee will be charged if any electrical, mechanical or plumbing inspection does not meet the inspector's requirements. The inspector must have a **clear and safe way** to get into the property and structure or the inspection will not be done and a re-inspection fee will be charged. The re-inspection fee **must be paid** before the inspector will go out for a re-inspection. Re-inspections for the *building official* will be deducted from the Final Grade Inspection.

PLAN REVIEW CHECKLIST

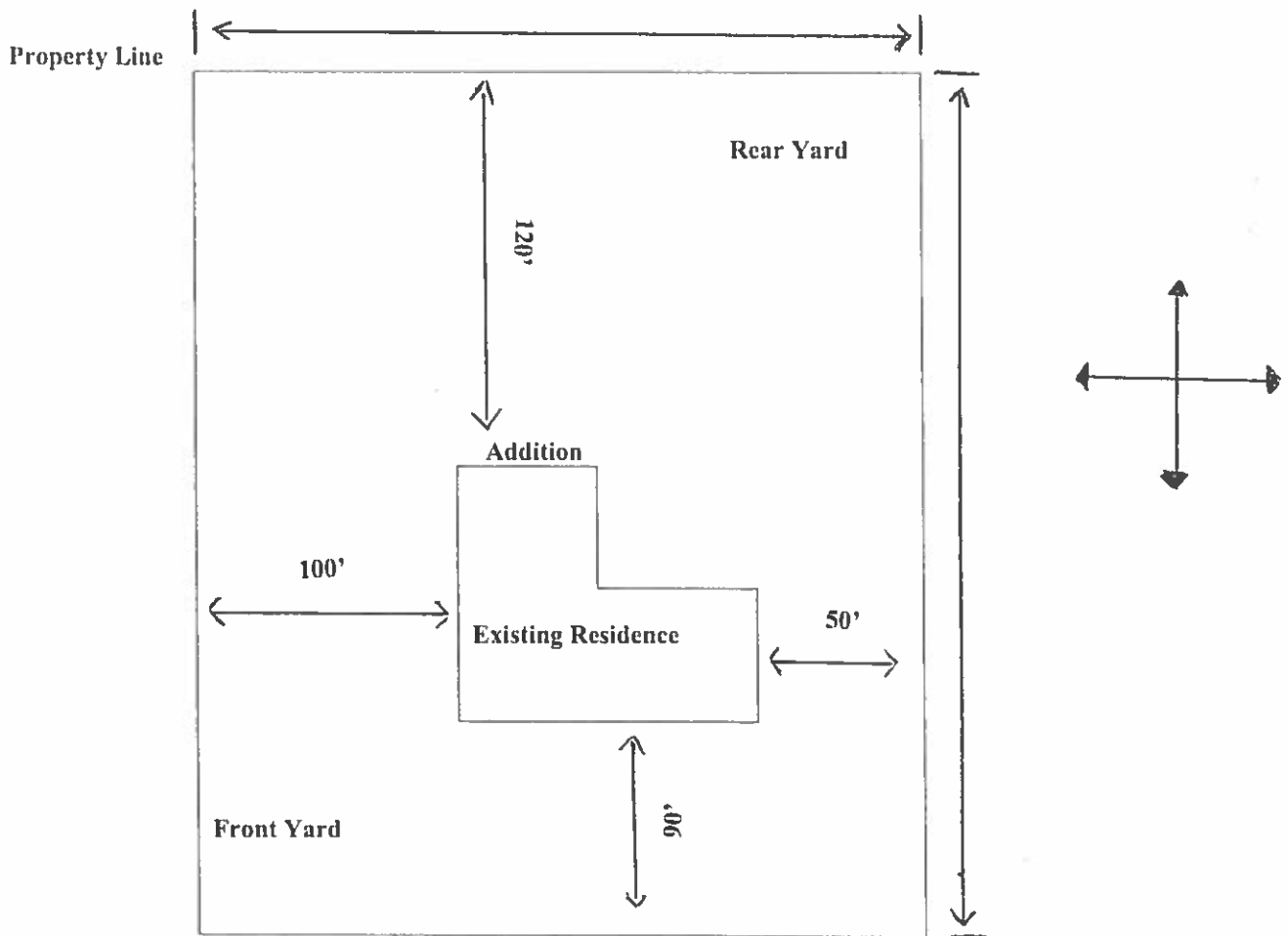
| ITEM | COMPLETED | NOT COMPLETED |
|--|-----------|---------------|
| Apply for street address at Twp. | | |
| Apply for Culvert Permit-MCRC | | |
| Apply for Soil Erosion Permit-MCPW | | |
| Apply for Well & Septic Permits-MCHD | | |
| Apply for Building Permit (attach appropriate documents) | | |
| Apply for other permits needed | | |
| <u>Building Inspections:</u> | | |
| Footing | | |
| Posthole | | |
| Garage Footing | | |
| Backfill | | |
| Basement Grade | | |
| Grade (Sand Compaction) | | |
| Rough | | |
| Insulation | | |
| Open Air Grid Ceiling | | |
| Brick Flashing | | |
| Exterior Sheathing | | |
| Final and C of O | | |
| Basement Panel & Rod (Poured Walls) | | |
| <u>Electrical Inspections:</u> | | |
| Service | | |
| Trench | | |
| Rough | | |
| Final | | |
| <u>Plumbing & Mechanical Inspections:</u> | | |
| Underground Plumbing | | |
| Rough Plumbing | | |
| Final Plumbing | | |
| | | |
| Rough Heating | | |
| Final Heating | | |
| | | |
| Rough Fireplace | | |
| Final Fireplace | | |
| LP Tank Inspection | | |
| <u>Final Inspections from County</u> Health Dept. for Well & Septic Public Works for Soil Erosion MCRC for Culvert | | |

ADDITIONS

SAMPLE

PLEASE INDICATE:

- Location of Addition including distance from property lines
- Size of Addition
- Location of septic and field
- Any existing structure locations
- Any easements
- Direction (of North Arrow)
- Lot/Parcel Dimensions
- Set backs of the dwelling
- Address/Street

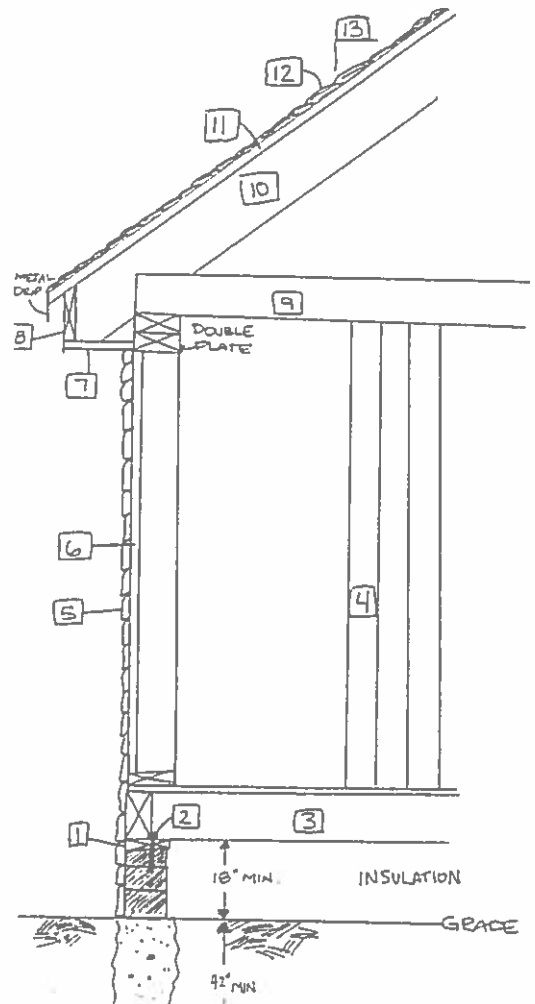


Address/Street _____

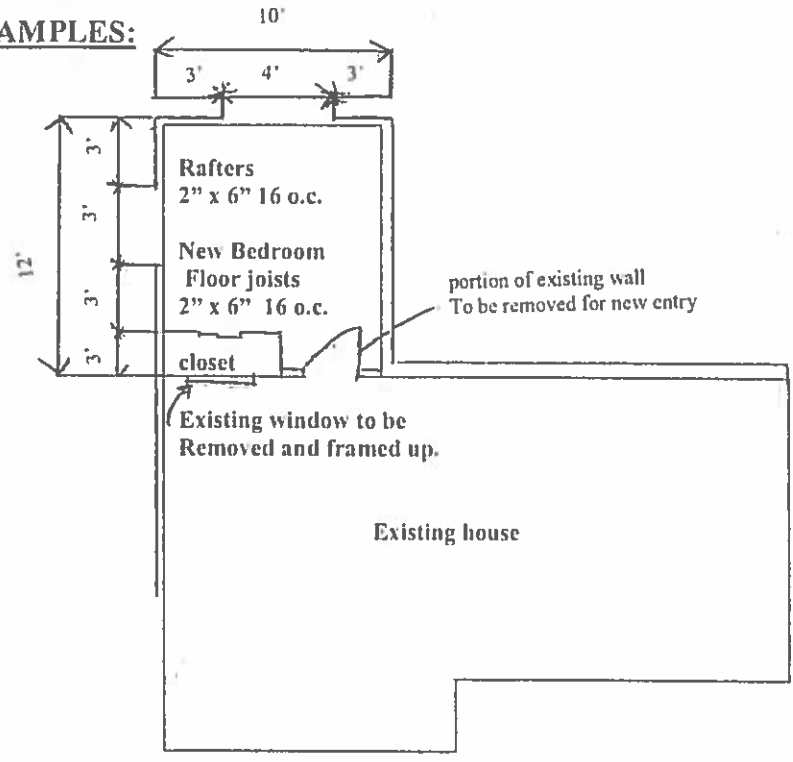
***If corner lot, show all streets and distances.**

COMPLETELY FILL IN SECTION DETAILS

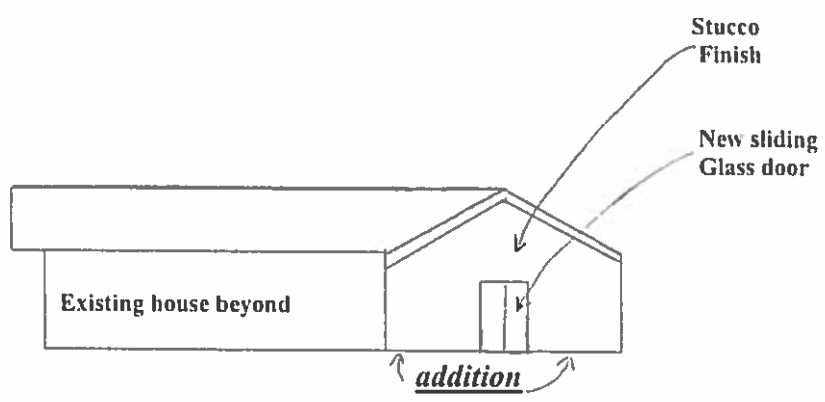
- 1 - Treated Sill Plate _____ x _____
- 2 - Bolt Spacing _____ o/c
- 3 - _____ X _____ Floor Joists _____ o/c
- 4 - _____ X _____ Studs _____ o/c
- 5 - Siding Material _____
- 6 - Sheathing Material _____
- 7 - Soffit Vent _____
- 8 - Facia _____ X _____
- 9 - _____ X _____ Joist _____ o/c
- 10 - _____ X _____ Rafter or Trusses _____ o/c
- 11 - Sheathing _____
- 12 - Shingles _____
- 13 - Pitch _____



EXAMPLES:



FLOOR PLAN not to scale



ELEVATION not to scale

APPENDIX 1
SUMMARY OF HEIGHT, BULK, DENSITY, AREA, AND SETBACK REQUIREMENTS

| <i>Zoning</i> | <i>Minimum Lot Size</i> | <i>Lot Width</i> | <i>Maximum Height of Buildings and Structures</i> | | <i>Setbacks in Feet</i> | | |
|------------------------------------|-------------------------|------------------|---|-------------|-------------------------|-------------|-------------|
| | | | <i>Stories</i> | <i>Feet</i> | <i>Front</i> | <i>Side</i> | <i>Rear</i> |
| A-1 Agricultural | 65,340 square feet | 150 feet | 2 | 30 | * | 20 | 40 |
| R-1 Single-Family Residential | 43,560 square feet | 130 feet | 2 | 30 | * | 20 | 40 |
| RM Multiple-Family Residential *A | 12,000 square feet | 100 feet | 2 | 32 | 120 | 50 | 50 |
| MHC Manufactured Housing Community | - | - | - | - | - | - | - |
| O-1 Professional Office *B | 21,780 square feet | 100 feet | 2 | 25 | | 20 | 20 |
| C-1 Local Commercial *B | 21,780 square feet | 100 feet | 2 | 25 | | 20 | 20 |
| C-2 General Commercial *B | 43,560 square feet | 150 feet | 2 | 30 | * | 20 | 20 |
| M-1 Light Industrial | 43,560 square feet | 150 feet | 2 | 35 | | | 20 |
| M-2 Heavy Industrial | 43,560 square feet | 200 feet | 3 | 35 | * | 20 | 20 |

* Front and street side setbacks shall be measured from the centerline of each road right-of-way in accordance with the Township's Master Plan designation and the Macomb County Road Departments as follows:

| Road Designation | Distance from Center Line of Road |
|--------------------------------|-----------------------------------|
| Major | 100 feet |
| Local (including subdivisions) | 90 feet |

When structures have been built upon a majority of the parcels in a block with a lesser setback than permitted in this Section, a structure may be built to the setback of the mean average of

the structures in the block provided further that the setback on corner lots on the side streets shall not reduce the buildable width on parcels of land to less than a twenty-four (24) foot wide building.

*A Landscaped setback must be provided adjacent to, and surrounding each building on the following basis:

| | Required Setback |
|-------|------------------|
| Front | 30 feet |
| Rear | 40 feet |
| Side | 15 feet |

- Landscape setbacks utilized for one building shall not be utilized to fulfill the setback requirement for any other building. Such landscape setback shall be exclusive to the building it surrounds.
- Where a side of a building is adjacent to and parallel to a side of an adjacent building and where such sides of the buildings have no doors or windows, the side yard requirement may be reduced by five (5) feet for each building. The total distance allowable between such buildings shall not be less than twenty (20) feet.
- Buildings which include attached garages may eliminate the required setback on sides of the building where garages are located in order to permit a parking apron and paved access to garages. However, pavement shall not surround more than forty (40) percent of the overall perimeter of the building.
- Each square foot of pavement which encroaches into a required setback must be replaced on another side of the same building. Site plans must clearly dimension landscaped greenbelts and provide calculations in instances of setback transfer.
- In no case shall any building encroach closer than thirty (30) feet to a road, drive, access lane, or parking area.
- Yard areas used to facilitate utilities must maintain a thirty (30) foot greenbelt.

*B Side Yard: Twenty (20) feet. If an exterior side yard borders any residential district, there shall be provided a yard setback of not less than fifty (50) feet.

Rear Yard: Twenty (20) feet. If an exterior rear yard borders any residential district, there shall be provided a yard setback of not less than fifty (50) feet.

*C Side Yard: No side yard is required along one interior side lot line, except as otherwise specified in the Building Code and provided, further, that no side yard of less than five (5) feet in width shall be left between the lot line and building. The openings (windows and doors) side or other side of the lot shall have a side yard of not less than twenty (20) feet. Corner lot side yards must equal the setback required for the front yards on the street to which they side. If an exterior side yard borders any residential district there shall be provided a yard setback of not less than one hundred (100) feet.

Rear Yard: Twenty (20) feet. No building shall be closer than one hundred (100) feet to the outer perimeter (property lines) of this district where said rear property lines abut any residential district.