

LENOX TOWNSHIP BUILDING DEPARTMENT

RESIDENTIAL & AGRICULTURAL BUILDING PERMIT REQUIREMENTS

ALL APPLICANTS SHALL SUBMIT THE FOLLOWING REQUIREMENTS TO OBTAIN A
RESIDENTIAL OR AGRICULTURAL BUILDING PERMIT IN LENOX TOWNSHIP

1. Certification from Macomb County Board of Health that a safe and adequate water supply exists for use on the premises where a private supply is proposed including a well log.
2. Macomb County Board of Health Septic System Permit. MUST INCLUDE COMPLETED GRADE STATISTIC SHEET. MUST INCLUDE ENERGYWORKSHEET.
3. Plot Plan showing location of property all building setbacks , address, easements, gas lines, right-of-ways, etc. Once Plot Plan is approved, Preliminary & Final Certificates of Grade shall be submitted. (see attached sample)
4. Road Commission of Macomb County culvert permit.
5. Macomb County Public Works soil erosion permit or letter of exemption.
6. Two (2) complete copies of blue prints. PRINTS SHALL MEET MICHIGAN CODE 2015.
7. New address application by the applicant.
8. Township Planner approval for the proposed setbacks and building location.
9. Township Engineer approval for the proposed plot plan.
10. Signed Truss Certification signed by a certified truss engineer.
11. Separate permits shall be required for Electrical Plumbing, and Mechanical.
12. All permits issued shall be invalid if authorized work is not commenced within six (6) months of issuance.
13. All underground plumbing, floor drains, sumps, and drain tiles must be inspected by the plumbing inspector before cement floor is poured.
14. When a Building Bond is involved, two (2) checks shall be submitted to the Township; one for Building Bond and one for Building Permit.

Building Official/ Inspector
Electrical Inspector
Mechanical/ Plumbing Inspector

Dennis Lemieux
Robert M. Osterman
Tim Israel

Last day for calling in inspections prior to a weekend shall be by 4:30pm Thursday.

Lenox Township offices are closed on Fridays. All inspections shall be called in to the building department by 4:30pm prior to the day of inspection. 586-727-2085 Ext.111.

**LENOX TOWNSHIP
RESIDENTIAL SITE/PLOT PLAN
REQUIREMENTS CHECKLIST**

ADDRESS: _____ **TCEC REVIEWER:** _____

DEVELOPMENT: _____ **LOT/UNIT/BLDG. NO.:** _____

ENGINEER/SURVEYOR: _____ **DATE:** _____

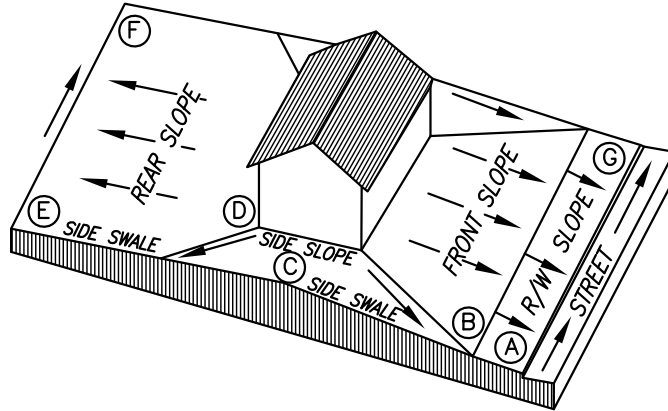
General		<u>Yes</u>	<u>No</u>
1	Plans signed & sealed by registered Michigan Land Surveyor/Engineer (Original)		
2	North Arrow		
3	Scale (1" – 10' to 1" – 40')		
4	Legal description & parcel ID shown		
5	Site benchmark provided (Indicate datum)		
6	Topographic survey information shown (existing elevations around the lot perimeter, adjacent top of curb and brick ledge/finish grade elevations, catch basin, valve well and manhole rim elevations and on site easements dimensions and locations)		
7	Road name and width of existing & proposed Right-of-Way		
8	Arrows indicating drainage pattern (all runoff contained onsite)		
9	Provide & label drainage swales min along the side property lines		
10	Lot boundary dimensions shown		
11	Township standard notes shown		
12	All existing and proposed utilities (includes water service, sanitary and sump lead)		
13	Location and elevation of 100-year Floodplain boundaries (existing or proposed)		
14	Building setbacks from all property lines according to the Township Ordinance		
15	First floor elevation 5 FT max above lowest adjacent centerline of road		
16	First floor elevation 6 IN max above approved finished grade of septic field *		
17	Provide building outline or building envelop finished grades on all future site plans and preliminary grade certificates *		
18	Provide 0.5 FT drop between corner lot grade and top of curb grade *		
19	Provide top of curb grades opposite each front lot corner *		
20	Brick ledge elevations and lot grades match approved master grade plan *		
21	Show handi-cap ramps on sidewalks *		
22	All proposed grading shall meet the following: a. Brick ledge elevation with 0.5 FT of all adjacent brick ledge elevations * b. Fall from brick ledge to side yard swale high point 0.5 FT min and 1 FT max * c. Fall from brick ledge 2% (0.5 FT) min in the first 25 FT and 1% thereafter d. Rear and side yard swale slopes shall be 0.5% min and 5% max e. Driveway slope shall not exceed maximum 7% f. Match existing grades at all property lines	_____ _____ _____ _____ _____ _____	_____ _____ _____ _____ _____ _____
23	Cross section details of all proposed pavements (driveway, sidewalk...etc)		
24	Show existing wetlands onsite (provide a statement if none)		
25	Provide hard copies and digital files of the plans (PDF format)		

* Required for subdivision lots only or if applicable

LENOX TOWNSHIP STANDARD NOTES

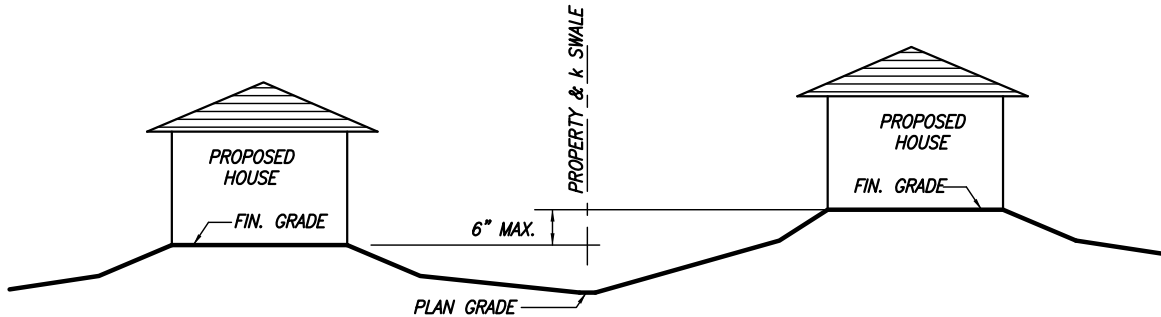
1. All construction must conform to the current standards and specifications adopted by the Township.
2. Call MISS DIG (1-800-482-7171) a minimum of 72-hours prior to the start of construction.
3. All soil erosion and silt must be controlled and contained onsite.
4. All excavation under or within 3-feet of public pavement, existing or proposed, shall be backfilled and compacted with sand (Class II MDOT – minimum).
5. The Contractor is responsible for all damage to existing utilities.
6. The Contractor is responsible for securing permits from all jurisdictional agencies.
7. Approval by Macomb County Department of Roads is required for the proposed work within the ROW (including driveways).
8. Approval by Macomb County Soil Erosion Office is required for the proposed activities.
9. Approval by Macomb County Drain Office is required for any runoff discharge to a water course.
10. Approvals by Macomb County Health Department is required for all proposed well and septic systems.
11. The Township shall be held harmless for liabilities or damages of any storm, drainage, and flooding issues as a result of the proposed activities.
12. The Township shall be contacted regarding all proposed watermain and sanitary sewer connections and related fees. All taps shall be made by the Lenox contractor. Coordinate with the Township DPW.
13. Energy dissipaters (such as Riprap) recommended for all storm outlets (including sump leads) to minimize any point discharges and future erosion issues.
14. The Contractor is responsible for providing positive drainage to storm water outlets onsite to eliminate standing water in vacant areas during construction.

LENOX TOWNSHIP GRADE STANDARDS

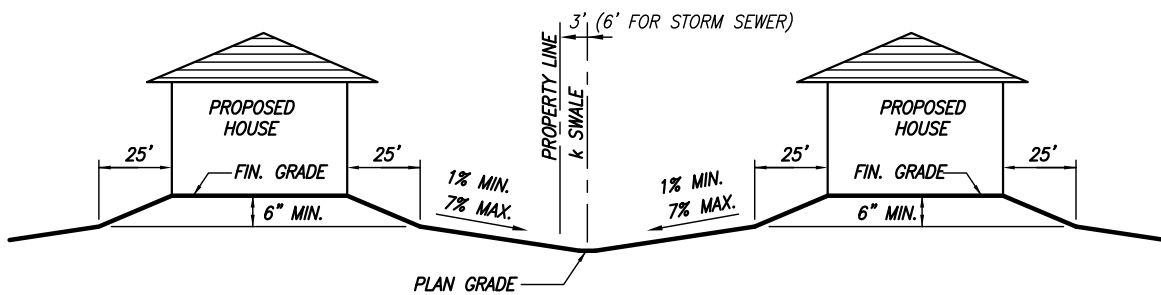


- A-B** R/W SLOPE 0.03' / FT SLOPE MIN.
- E-C-B** SIDE SWALE 1% SLOPE MIN.
- C-D** SIDE SLOPE 0.5' RISE TO H.G. MIN. - 1' RISE TO H.G. MAX.
- E-D-B** REAR/FRONT SLOPE 1% SLOPE MIN. - 7% SLOPE MAX
- E-F** REAR SWALE 0.5% SLOPE MIN.
- A-G** ROAD SLOPE 0.5% SLOPE MIN.

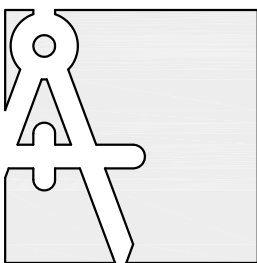
TYPICAL GRADING TEMPLATE (NOT TO SCALE)



ADJACENT YARD GRADING TEMPLATE (NOT TO SCALE)



TYPICAL YARD GRADING TEMPLATE (NOT TO SCALE)



TRI-COUNTY
Engineering Consultants

48701 Hayes Road
Shelby Twp, MI 48315
TEL: (810) 394-7887
FAX: (586) 566-4642
www.Tri-CountyEng.com

Drawn By: SS

Checked By: SS

Approved By: SS

Job No: LX17010

Job Name: Grade Standards

Job Location: Lenox Township, Michigan

Scale: None

Rev 1: 03-12-17

Rev 2:

Rev 3:



LENOX TOWNSHIP



Water and Sanitary Sewer Lead Standards

General Standards

1. Notify the Lenox Township Department of Public Works (586-749-0230) a minimum of 48-hours prior to the start of construction.
2. All excavation under or within a 1 on 1 influence of public pavement, existing or proposed shall be backfilled and compacted with sand (Class II MDOT – minimum).
3. All pipe material, construction and testing shall conform to the current standards and specifications of the Township, the manufacturer and the appropriate ASTM requirements.
4. Provide 10 feet minimum separation between adjacent utilities and 18 inches between crossing utilities.
5. All building lead work and pipe trenches shall be performed under the Township's DPW inspection. All trenches shall not be covered until inspected and accepted.
6. Billing will start immediately after connection is constructed.

Water Standards

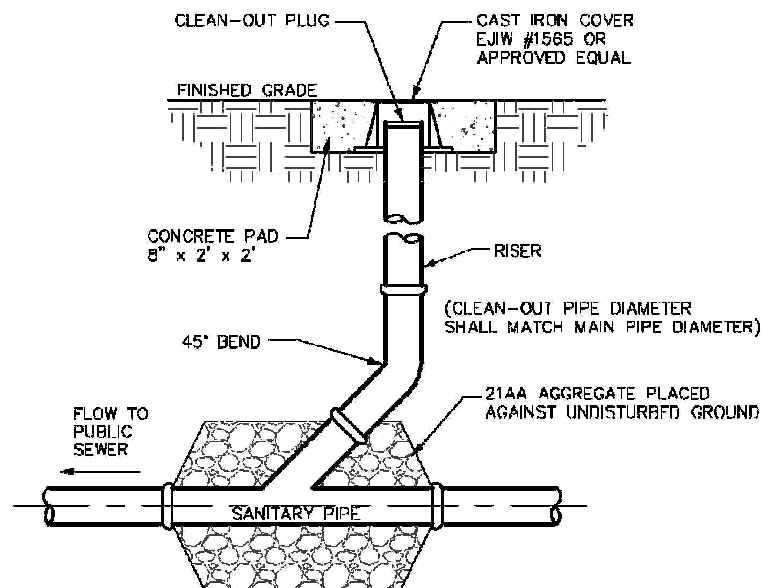
1. All water pipes shall be 1" type K Copper with 5-1/2' minimum cover.
2. Stop and Waste Cock shall be installed on influent and effluent side of meter setting.
3. Meter Jumper shall be installed for testing purposes only.
4. Meter setting shall be in basement or utility room on an easily accessible place.
5. Meter shall not be set under house without basement.

Sanitary Sewer Standards

1. Minimum sewer diameter is 6-inch SDR 23.5 or Schedule 40 PVC with glued joints. Minimum pipe slope shall be of 1% or 1/8" per 1 foot (4% or 1/2" per 1 foot max). For 8-inch and larger diameter sewers, use truss pipe, w/ glued joints or PVC w/ premium neoprene gasket joints. Minimum pipe slope shall be of 0.8% or 1/10" per 1 foot (3% or 3/8" per 1 foot max).
2. All sewer leads shall be constructed with wyes at connection to main unless otherwise directed by the Township's DPW.
3. All sewers shall be constructed with 9 feet minimum cover at the building.
4. Cleanouts shall be provided at all bends and every 100 feet of pipe runs.
5. No ground water, storm water, construction water, downspout drainage, weep tile drainage shall be allowed to enter any sanitary sewer installation.
6. Dissimilar types and sizes of pipes shall be joined using an approved adaptor per the current state plumbing code.

Lenox Township DPW
59960 Gratiot Avenue
Lenox Twp, MI 48048
Mr. Cameron Trombly
DPW Superintendent
Tel (586) 749-0230
Fax (586) 749-0231

Lenox Township
63975 Gratiot Ave
Lenox Twp, MI 48050
Mrs. Nancy Hansen
Building Department Manager
Tel (586) 727-2085
Fax (586) 727-3188
www.lenoxtp.org



TYPICAL CLEAN-OUT DETAIL

NOT TO SCALE

PRELIMINARY CERTIFICATE OF GRADE & LOCATION OF HOUSE

(Required for subdivision lots and parcels 1 Acre or smaller)

After the Township Building Department had given approval of the basement walls to be backfilled, and before the rough carpentry begins, the Applicant shall submit as-built drawings with the following certification shown:

I CERTIFY THAT WE FIELD CHECKED THE SUBJECT SITE AND FIND THAT THE MINIMUM DISTANCE FROM LOT LINES AND FINISHED GRADES OF BUILDING AND LOT ARE AS SHOWN TRUE AND IN ACCORDANCE WITH THE APPROVED SITE / PLOT PLAN / MASTER GRADING PLANS, AND SPECIFICATIONS AS APPLICABLE.

BY: _____
PROFESSIONAL SURVEYOR / PROFESSIONAL ENGINEER

REGISTRATION NO.: _____

FINAL CERTIFICATE OF GRADE & LOCATION OF HOUSE

(Required for all lots and parcels)

Prior to Final Occupancy, the Applicant shall submit as-built drawings with the following certification shown:

I CERTIFY THAT WE FIELD CHECKED THE SUBJECT SITE AND FIND THAT THE MINIMUM DISTANCE FROM LOT LINES AND FINISHED GRADES OF BUILDING AND LOT ARE AS SHOWN TRUE AND IN ACCORDANCE WITH THE APPROVED SITE / PLOT PLAN / MASTER GRADING PLANS, AND SPECIFICATIONS AS APPLICABLE.

BY: _____
PROFESSIONAL SURVEYOR / PROFESSIONAL ENGINEER

REGISTRATION NO.: _____

SECTION 1701. HEIGHT, BULK, DENSITY, AREA AND SETBACK REQUIREMENTS BY DISTRICT

ZONING DISTRICT	Minimum Lot Dimensions ^{A,S}		Maximum Building Height ^T		Minimum Setbacks ^{B,H,I}			Maximum Lot Coverage ^{J,S}	Minimum Per Unit Living Area (Residential Districts)
	Lot Area ^{N,O,P} Density ^Q	Lot Width	Stories	Feet	Front ^D	Sides ^{E,L}	Rear		
AG AGRICULTURAL									
AG-SMALL FARM	5 Acres ^{O,P,Q}	330'	2 ½ ^C	35' ^C	50'	20' ^k	50'	25%	1 story - 1,200 sq. ft. 1 ½ Story - 1 st - 1,000 sq. ft. 1 ½ Story - 2 nd - 500 sq. ft. 2 Story - 1 st - 1,000 sq. ft. 2 Story - 2 nd - 1,000 sq. ft.
AG-RURAL HOMESITE	2 Acres ^{O,P,Q}	165'	2 ½ ^C	35' ^C	50'	20' ^k	50'	25%	
RL RESIDENTIAL LOW DENSITY									
RL-CONVENTIONAL -NO SEWER	1 Acres ^{O,P,Q,R}	150'	2 1/2	35'	40'	20' ^k	50'	30%	
RL-CONVENTIONAL -WITH SEWER	12,000 ^{P,Q,R} Square Feet	100'	2 1/2	35'	30'	15' ^k	35'	30%	
RM RESIDENTIAL MEDIUM DENSITY- SEWER SERVICE AREA									
RM, SINGLE FAMILY- NO SEWER	1 Acre ^{O,P,Q,R}	150'	2 1/2	35'	40'	20' ^k	50'	30%	1 Story - 1,000 sq. ft. 1 1/2 Story - 1st - 800 Sq. ft. 1 1/2 Story - 2nd - 350 sq. ft. 2 Story - 1st - 750 sq. ft. 2 Story - 2nd - 750 sq. ft.
RM, SINGLE FAMILY- WITH SEWER	8,400 ^{P,Q,R} Square Feet	70'	2 1/2	35'	30'	10' least 25' total* ^k	30'	40%	
RH RESIDENTIAL HIGH DENSITY-SEWER SERVICE AREA									
MULTI FAMILY APARTMENTS, CONDOMINIUMS & ASSISTED LIVING FACILITIES	15-25 Units per acre ^G	200'	3 ^U	40 ^U	50 ^I	40' ^{I,J,U}	50 ^I	35% building footprint 50% max impervious surface ^J	<p><u>Attached</u> Efficiency = 400 sq. ft. 1 bedroom = 700 sq. ft. 2 bedroom = 850 sq. ft. 3 bedroom = 1,000 sq. ft. 4 bedroom = 1,200 sq. ft. Ground floor = 500 sq. ft / unit</p> <p>Individual condominium units shall contain a minimum of 864 square feet.</p> <p>Maximum building length = 180 feet</p> <p><u>Detached</u> 1 Story - 864 sq. ft. 1 1/2 Story - 1st - 700 Sq. ft. 1 1/2 Story - 2nd - 300 sq. ft. 2 Story - 1st - 650 sq. ft. 2 Story - 2nd - 650 sq. ft.</p>
MULTI FAMILY APARTMENTS, CONDOMINIUMS & ASSISTED LIVING FACILITIES	15-25 Units per acre ^G	200'	3 ^U	40 ^U	50 ^I	40' ^{I,J,U}	50 ^I	35% building footprint 50% max impervious surface ^J	
ATTACHED 4 PLEX	10 Units per acre ^G	100'	2 1/2	35'	35'	30' ^I	35'	25%	
ATTACHED DUPLEX	8-15 Units per acre ^G	100'	2 1/2	35'	35'	25' ^I	35'	25%	
DETACHED SINGLE FAMILY	6,600 ^{P,Q,R} Square Feet	50'	2 1/2	35'	25'	9' least 19' total	25'	25%	